

WHISTLER VILLAGE DESIGN GUIDELINES

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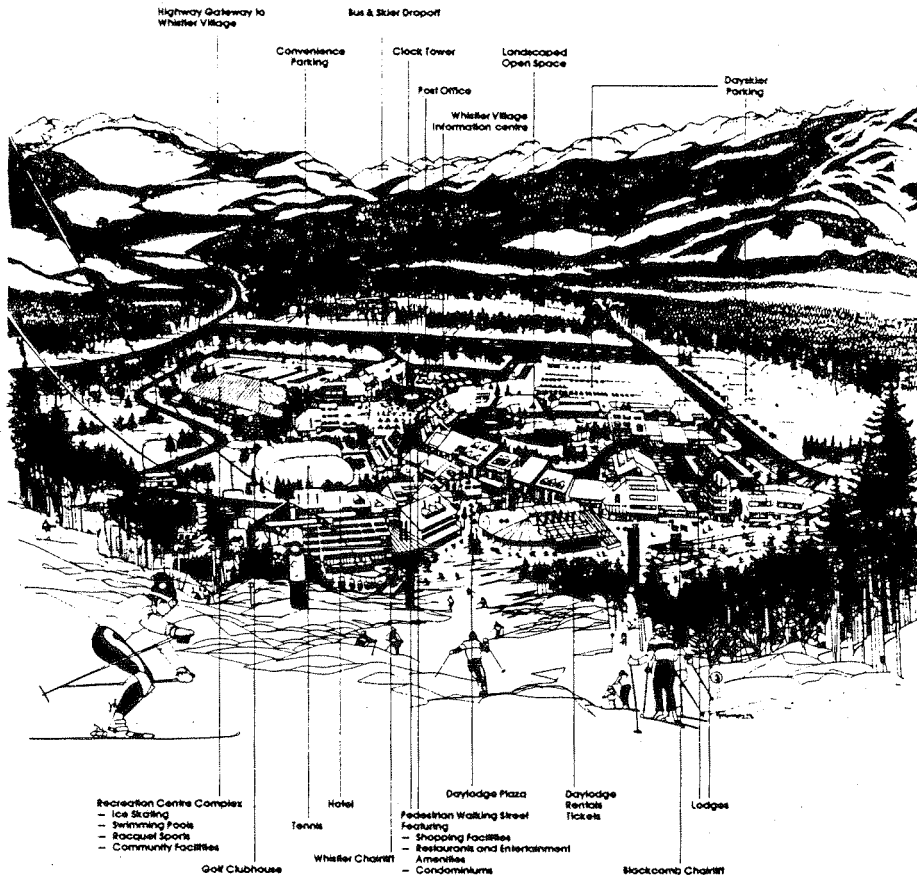
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ORIGINAL VILLAGE CONCEPT



1.0 BACKGROUND

Whistler Village is an unusual example of a designed resort community incorporating the combined experience of a multi-disciplinary design team and including the best elements from many other mountain resorts.

The economy of the Whistler area is based on tourism, and Whistler Village was designed as a focal point for destination visitors. Begun in 1979, the Village was originally conceived as a winter destination and features direct pedestrian access to two of North America's largest ski mountains. The nature of the Village has changed over time, with an increasing emphasis on year-round tourism, a wider range of visitors, and an increasing resident population. In short, the Whistler Village is maturing from winter resort into a true "Village".

The success of Whistler depends on the success of the visitor experience. All aspects of development in the Village should reflect this central goal by incorporating a high quality of design, both functional and aesthetic.

Whistler Village competes with a number of other destination resorts for a sophisticated market. A high quality of design which continues and exceeds the standards of the original Village is therefore expected in all projects.

Applicants should also consider that Whistler has an extreme climate involving high snow and wind loads, and frequent precipitation. Buildings should be designed to reflect this, and also reflect the heavy use which buildings at Whistler receive.

These Design Guidelines are intended to assist the developer, architect, and other consultants to understand the basic design ideas behind Whistler Village, to share the lessons learned through experience with previous projects, and provide Council with a yardstick against which new projects can be measured. Applicants are invited to submit creative and imaginative projects which build on these Guidelines and contribute to the overall form and character of Whistler Village.

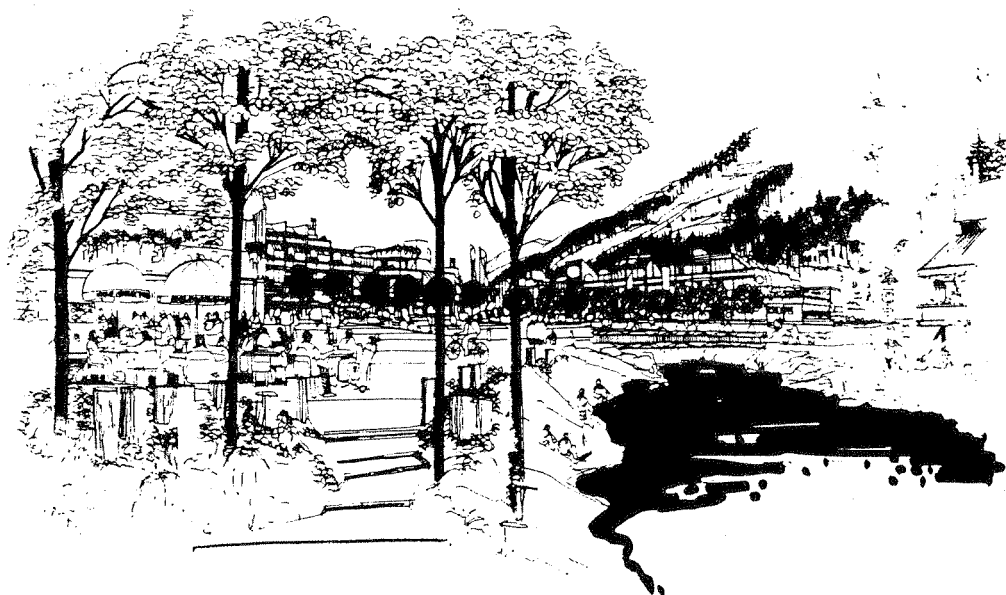


WHISTLER VILLAGE CONCEPT PLAN

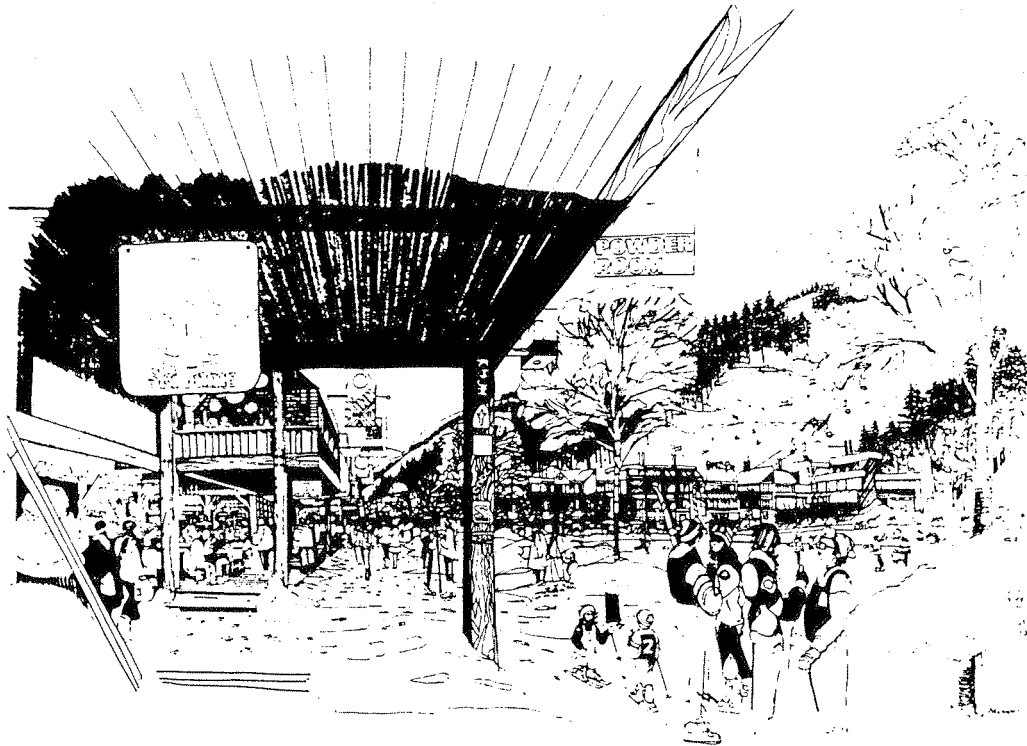
2.0 OBJECTIVES

Whistler Village exists to offer visitors a setting distinct from their everyday environment and provide a focal point for services aimed at both visitors and residents of the whole valley. The Village was designed to work in concert with Whistler's mountain setting, diversity of users, and tourism-based economy. These Design Guidelines are intended to foster the characteristic qualities of a village and resort in a mountain setting. The following objectives should be considered in all new development:

1. Continue the high standard of urban design, architecture and landscape architecture which is the trademark of the Village and the basis for its success with visitors.
2. Consider that Whistler Resort is a year round destination resort. Respond to the existing and future needs and interests of a broad range of visitors and residents through the four seasons.
3. Preserve where possible and supplement the existing natural landscape. A high quality of landscape is particularly important for summer visitation.
4. Contribute to the image of a cohesive village, yet still express individuality. To ensure continuity, incorporate consistent elements into all new buildings in the Village and the Village expansion eg. building scale and form, covered arcades, landscaping, street furnishings.
5. Create a "user friendly" atmosphere in the Village: continue the prominent pedestrian orientation; provide open space amenities (outdoor seating areas, activity areas, site features etc) that will contribute to its success.



6. Respond to extreme climatic conditions, intensive use and the surrounding mountain environment.
7. Build on the existing character and image, i.e. "mountain village" built by local craftsmen of local materials, incorporating elements of "West Coast" architecture.
8. Create a village which is greater than the sum of its parts. All development shall be planned and designed as an integral part of the Village development plan.
9. Organize spaces, orient buildings and continue the scale of the existing village to maximize mountain views and sunlight in public spaces.



The *Design Guidelines* are *not* intended as a "blueprint" for design approval, rather they outline the important design elements and features which should be considered. Note that these *Design Guidelines* do not negate or overrule the National Building Code or Municipal Bylaws.

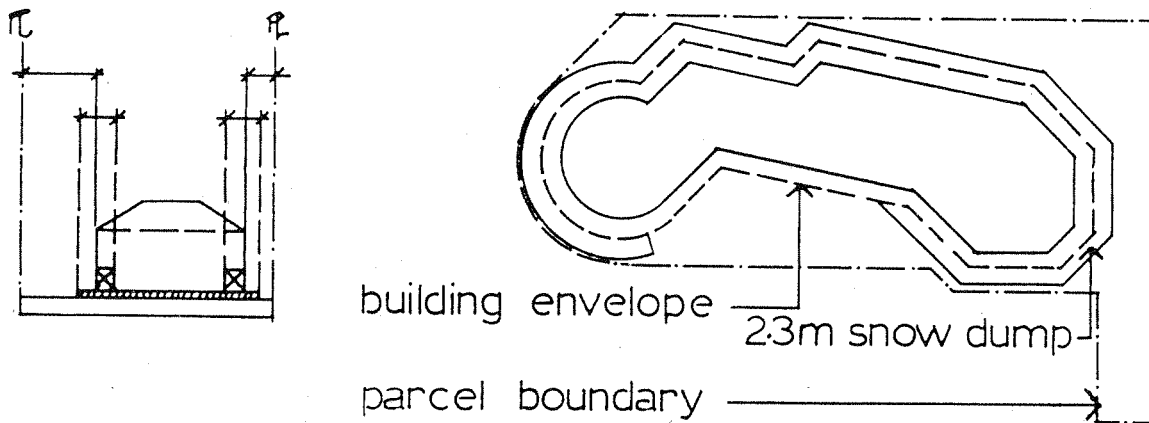
Applicants should review the *Design Guidelines* and meet with Municipal Planning staff at the outset of the design process to discuss the design objectives/issues for each property in Whistler Village. Each design will be reviewed in the context of surrounding development and specific design objectives for the property.

3.0 SITE PLANNING

3.1 BUILDING SITING

Building siting constraints and opportunities are specified on the Whistler Village and the Whistler Village Expansion Master Plan.

Building Envelope - all improvements on a parcel must be designed within the building envelope in the Master Plan or as approved by Council.



Preservation of natural features and vegetation is required. Retain existing tree stands and existing terrain where possible.

Encroachments beyond the property line are discouraged. Any such proposed encroachments must be noted on the drawings and considered by the Municipality at an early design stage.

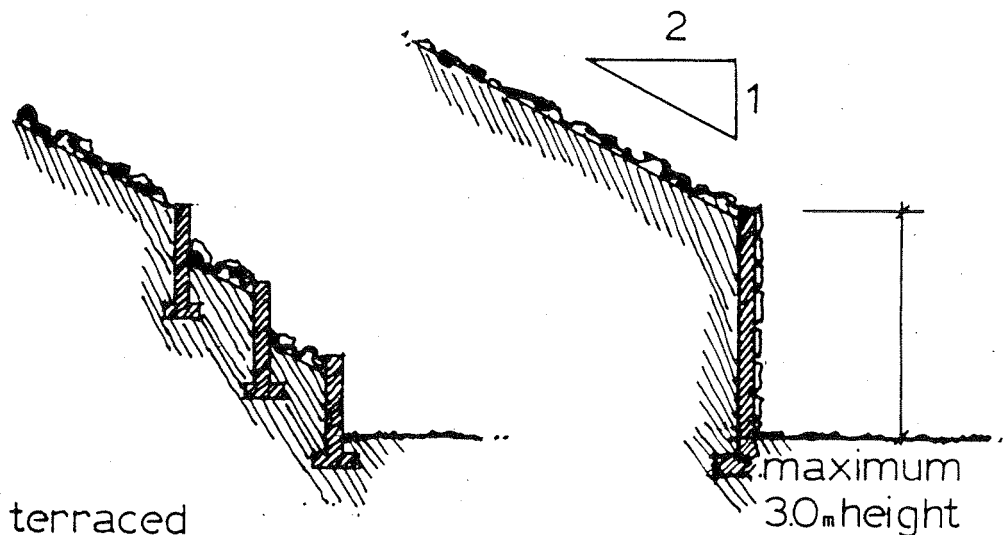
Building siting should be responsive to the overall Village plan, adjacent development and:

1. Topography;
2. Geology/soils conditions;
3. Hydrology, drainage and flood plain considerations;
4. Vegetation;
5. Views;
6. Solar and micro-climatic considerations;
7. Access and circulation: pedestrian and vehicular;
8. Seasonal response;
9. View corridors (especially to the mountains) and other urban design considerations.

3.2 GRADING

Grading requirements of a development must be resolved within the property boundary:

1. Cuts and fills should be minimized and blended into the existing terrain.
2. No retaining wall should be higher than 3.0 metres (10'0"). Timber retaining walls are generally discouraged, especially where they front onto public property. Terraced or battered retaining walls are preferred.
3. Slopes of cut and fill banks should be determined by soil characteristics for the specific site to avoid erosion and promote revegetation opportunities.
4. Maximum allowable slope is 2:1 (3:1 grass).



3.3 DRAINAGE

The very heavy snowfalls and precipitation of the Whistler area requires special attention to drainage:

1. Site Drainage

Runoff from impervious surfaces such as roofs and pavement areas shall be collected and directed to drains.

A full internal storm drainage system is required for each parcel, ensuring that no surface drainage is directed off the site.

Storm water retention may be required.

2. Area Drains

Positive drainage of all public and private plaza and walkway areas is required. Drains should be full catch basins or trench drains. Balcony floor type drains are not acceptable.

3.4 SERVICING

Because of the relatively high density of the Village, truck access, utilities, storage, and garbage must be considered in the design.

1. Service bays and loading docks must be unobtrusive

Locate service bays within the building or parking structure. All manoeuvring of service vehicles to be within property boundaries.

If exterior service bays are necessary, locations visible to hotel entries or commercial businesses should be avoided. Provide permanent visual screening where exterior service bays are located.

2. Provide adequate space for garbage storage and heavy recycling

An enclosed garbage storage and recycling room shall be provided in each building in accordance with the *Whistler Design Standards*.

3. Garbage storage must be internal

Garbage containers shall be stored on-grade, within the building away from public view. Containers must be easily accessible to garbage trucks.

Adequate ventilation must be provided (exhaust to roof).

4. Service bay design must be durable

Consider wear and tear on these areas.

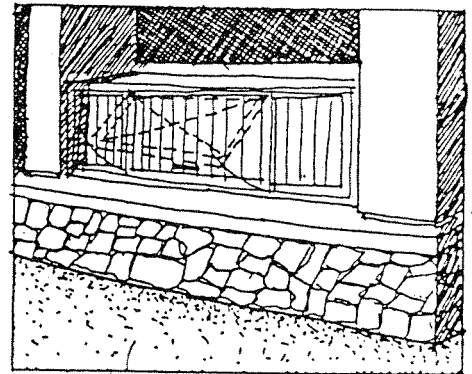
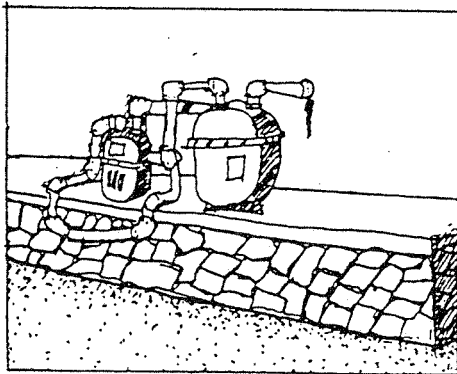
In order to allow winter garbage pick-up, design service bay entries to prevent ice and snow build-up.

5. Each project should include an area for utility tanks, hydro transformers and propane gas meters

The area shall be fully screened from view of the public and adjacent property owners.

Incorporate fire hose connections and utility meters in the building design. Such protrusions are frequently removed during snow-plowing.

Confirm transformer location at an early stage of design process in order to minimize its visual impact, especially with reference to adjacent properties.



3.5 ACCESS/PARKING/LOADING

Whistler Village has a strong pedestrian orientation and the design of buildings should minimize the conflicts between vehicle and pedestrian circulation.

1. Underground Parking

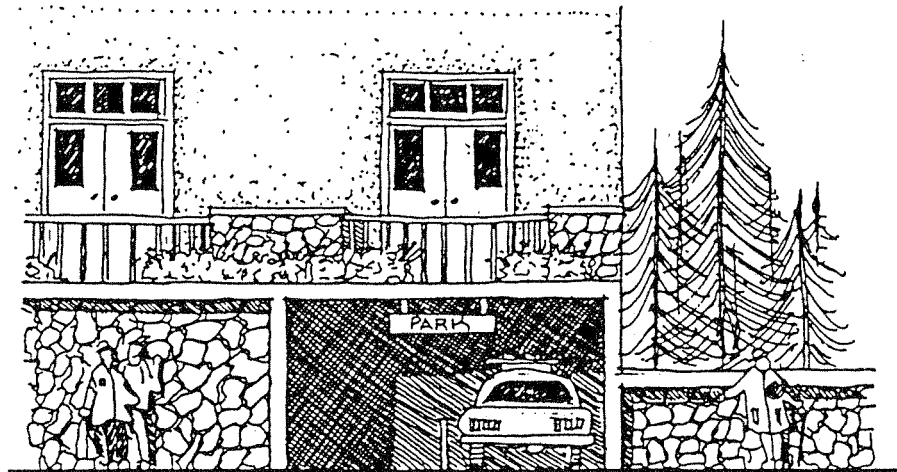
All parking must be underground in Whistler Village unless specifically approved by Council. (Refer to Zoning and Parking Bylaw and Village Expansion Master Plan.)

2. Parking entrances must be well signed yet unobtrusive

Consider the use of landscaping, appropriate materials and signage to make parking entries less conspicuous (or more attractive).

Automatic garage doors should be considered for security and aesthetic reasons.

Consider making underground parking higher than usual, given the number of vans and vehicles with ski racks.



3. Driveways

Design driveways to a maximum of 8% and ideally less than 6% slope.

Where site conditions dictate driveways with more than an 8% slope, the slope may be increased with the use of heat tracing or a roof covering.

4. Surface Parking

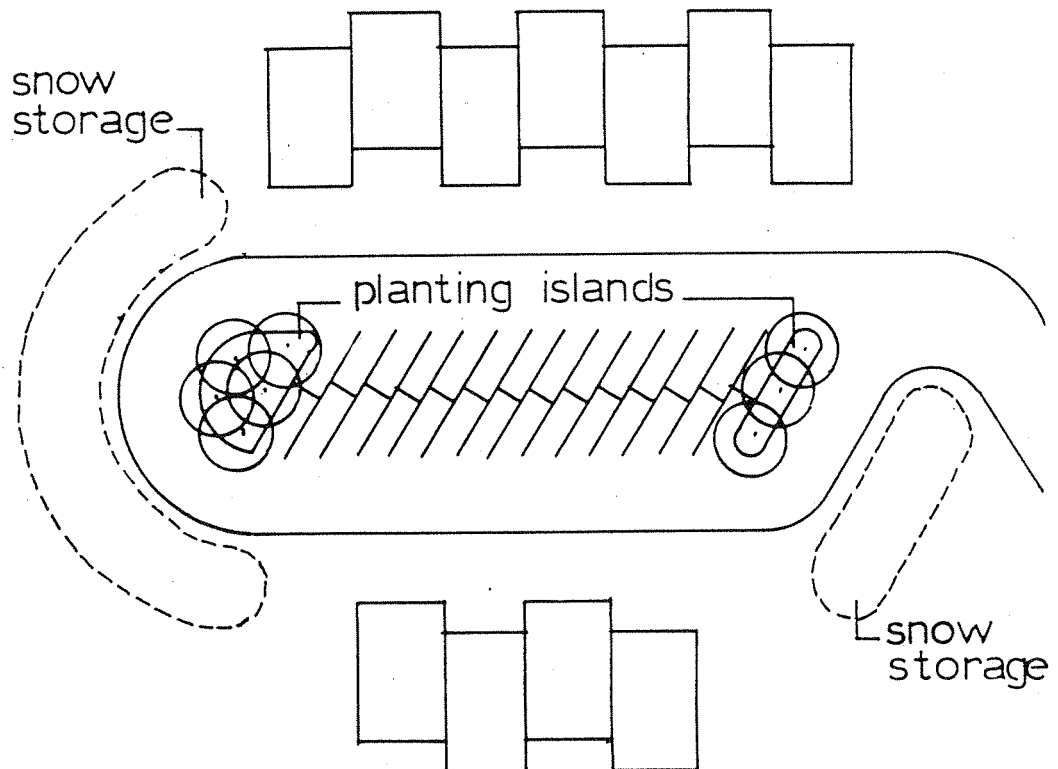
The layout of the roads and parking areas should incorporate site design features to maximize the efficient use of snow removal equipment.

Provide adequate areas for snow storage and drainage. These may be combined with islands of planting to break up large areas of paving.

Screen surface parking areas by a combination of walls, fences, landscaping and berms at least 1.2m in height.

Consider providing separate pedestrian circulation routes within parking areas.

Consider providing separate parking areas for buses and recreational vehicles.



3.6 OUTDOOR ACTIVITIES

Outdoor activity areas are vital to the festive atmosphere of the resort, providing opportunities to "see and be seen".

1. Outdoor activity areas should be created

Consider the provision of outdoor activity areas accommodating a range of ages and activity levels.

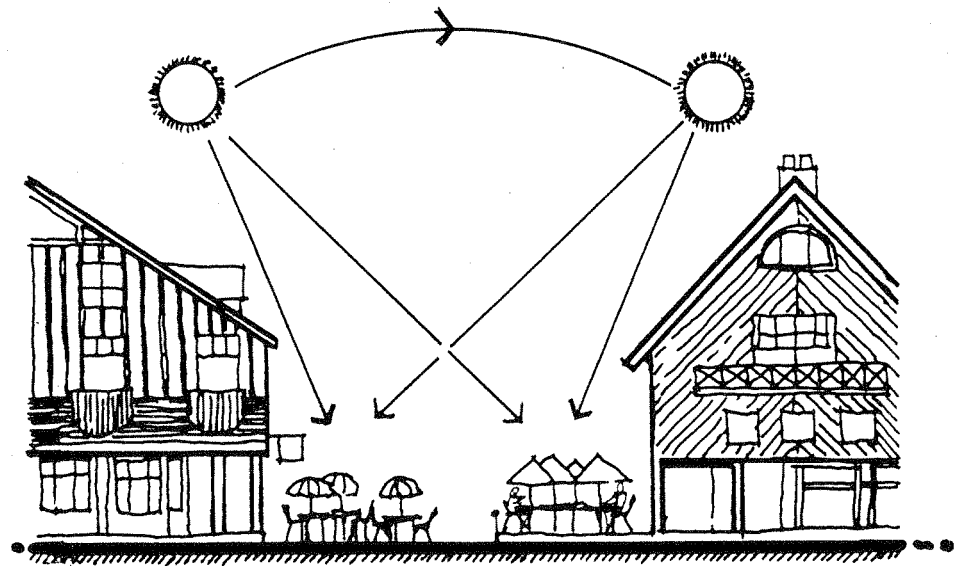
Seating areas and restaurants overlooking pedestrian areas are encouraged.

2. Provide for solar access

Design should preserve sunlight on neighbouring outdoor or indoor spaces (i.e. restaurants). Late afternoon sun is most important for outdoor use/activities.

Design the building volumetric to create sheltered sunny pockets in public spaces and neighbouring properties to encourage winter use.

A solar shading diagram must be provided for all developments in Whistler Village.



3. Outdoor sales

All display and sales of merchandise must be contained indoors unless specifically approved by Council.

4.0 SITE DESIGN

4.1 PEDESTRIAN MALL

1. **Pedestrian areas - integrate covered walkways and pedestrian malls.**

The variety and continuity of interest at ground level is critical to the vitality of the Village. Consideration of walkway detail, scale and indoor/outdoor connections is especially important.

2. **Street furnishings should be accommodated within the pedestrian arcade and at the interface with the pedestrian malls.**

Bike and ski racks should be highly visible and accommodate locking mechanisms to reduce the risk of theft.

Ski and bicycle storage should be provided near entries to commercial space (stores, restaurants) for use by the general public.

Ski and bike racks should be placed in areas that do not impede pedestrian movement, maintenance, or snow clearing in winter.

3. **All pedestrian walkways to be interlocking paving**

Interlocking paving stones are required on all plaza and pedestrian areas with the exception of vehicular roads. Consistent colour and style of pavers on public land is a requirement, however, varying colours, surfaces, textures, and patterns are encouraged on private lands.

4. **All stairs and ramps should comply with the *Whistler Design Standards* and must be roofed or heat-traced.**

4.2 LANDSCAPING

1. Landscape Standards

All planting shall be to BCSLA/BCNTA standards and must be designed and stamped by a registered B.C. landscape architect. A one-year guarantee and 135% Letter of Credit must be provided based on the landscape Architect's estimate.

2. Provide a minimum of 10% of gross site area in landscaped open space in mixed use or commercial zones, 20% for residential zones.

Replant and relandscape those areas that have been cleared or depleted of trees.

3. Co-ordinate landscape treatment with adjacent areas

The Owner/Developer must install parking, curbing, landscaping and lighting to Municipal standards beyond the edge of the parcel boundary. Improvements are to extend to the centerline of any Pedestrian Mall or adjacent street (consult *Subdivision Standards* and *Off-site Services Bylaw*.)

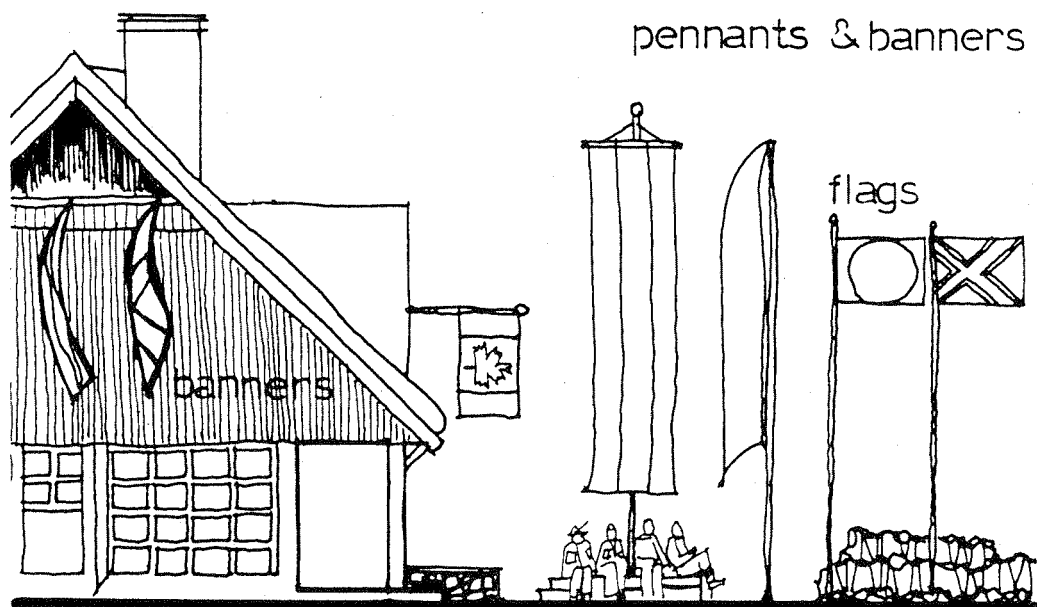
Coordinate the designs of arcades, steps, railings, street lights and planting to achieve a continuity on both the pedestrian mall and the main street sides of the commercial zone.

4. Landscape elements

All landscape elements adjacent to areas which require snow clearing by machinery must be designed to resist damage by incorporating durable materials, rounded edges and eliminating unnecessary protrusions.

Site features such as water, public art, flags, banners and graphics are strongly encouraged provided they contain no commercial message.

Planters integral to the building design are required. (See Whistler Design Standards.)



5. Plant materials

Trees and planting are to be protected from snow clearing operations by stone walls or high concrete curb.

Landscaping should use indigenous or similar hardy material plants. (See appendix "B" for recommended plants.)

All deciduous trees must be a minimum of 75mm (3") Caliper and 3.6m (12') high. Evergreen trees shall be a minimum of 2.0m high. Suggested ratio of evergreen trees to deciduous trees 3:1. (Ratio of evergreen trees to deciduous trees does not apply to street treatment.)

Plant material located in snow dump areas must be sufficiently durable to survive the effects of snowdump.

Transplanting of existing trees is generally limited to feature planting and encouraged where immediate "impact" is required.

Summer floral displays are encouraged in feature areas.

Planting used for screening must be primarily coniferous.

Grass should be a uniform turf of species hardy to Whistler climate.

Topsoil must meet BCSLA/BCNTA standards and must be free of all weeds.

6. Irrigation

Planters and landscaped areas must incorporate an automatic irrigation system and full internal drainage.

Drip irrigation is encouraged for hanging planters.

4.3 LIGHTING

Illumination levels should be of sufficient intensity to provide security but not over-power the nightscape. Illumination should be low level and low glare.

Provide exterior lighting for highlighting landscaped areas, feature walls etc. Exterior neon is not permitted (with the exception of window signs).

Consider security lighting where necessary.

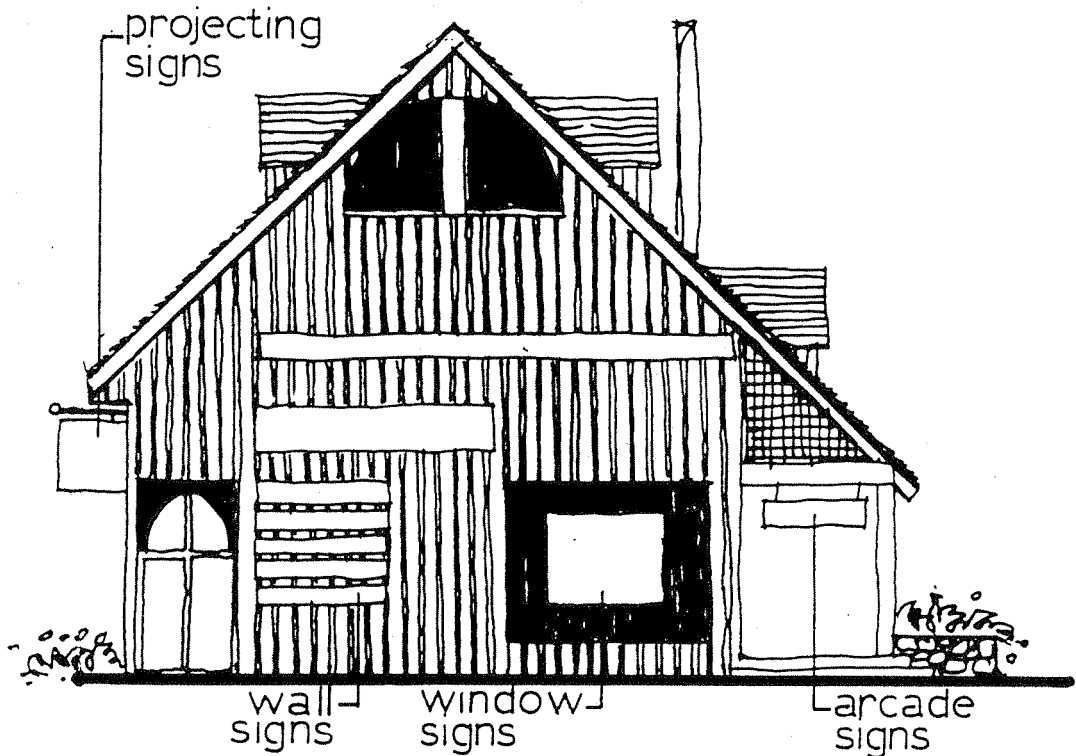
No flashing, blinking, or coloured lighting permitted (except Christmas). Incandescent or other warm coloured lighting is preferred. Lighting designers should be aware that the standard street lighting in Whistler Village is colour-corrected Metal Halide. Fluorescent and sodium lighting are generally discouraged.

4.4 SIGNAGE

Comprehensive sign plans required as part of Development Permit application for all new structures.

Signage should be low key and co-ordinated with the architectural features and finishes of each building. "Character" signs illustrating the products or services offered are encouraged.

Front lighting of signs is encouraged, although some limited back lighting is permitted. (Refer to the *Whistler Sign Bylaw*.)



4.5 NOISE CONTROL

The relatively high density of Whistler Village, combined with the mix of residential, commercial and entertainment facilities creates the potential for noise problems.

1. Locate nightclubs and cabarets below grade

Nightclubs and cabarets must be located primarily below grade unless exceptional noise isolation measures are included.

2. Locate entrances to nightclubs, cabarets, licensed lounges and pubs away from tourist or residential accommodation

Provide vestibule (double door) entrances including adequate indoor waiting areas (especially for nightclubs and cabarets).

3. Entries and windows must be designed to limit noise escaping to the street

In addition to vestibule entries, no operable windows are permitted facing a public street or mall, except for class B licenses (restaurants) or unlicensed premises. The use of triple glazing, glass block and masonry walls may also be required, especially where live entertainment is planned.

4. All fire exits to be alarmed

Fire exits should be designed so they cannot be propped open.

5. Nightclubs and cabarets must be sound-isolated from any tourist accommodation or residential uses.

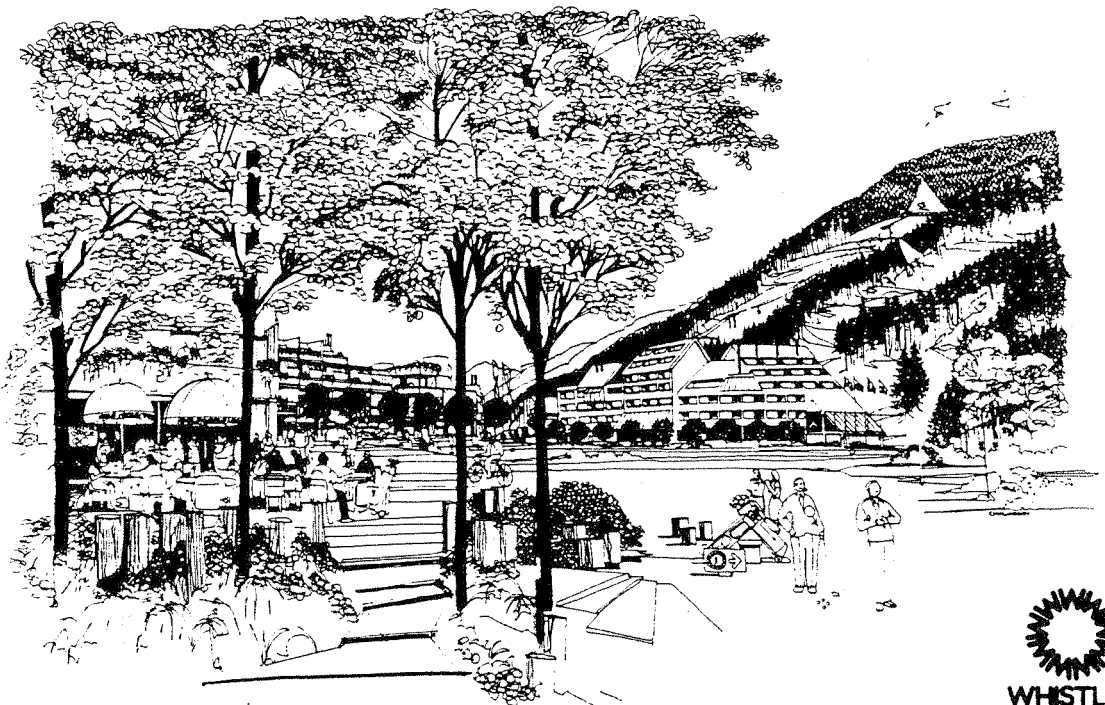
6. All licensed premises, tourist accommodation and residential uses should incorporate air conditioning.

5.0 BUILDING DESIGN

5.1 BUILDING CHARACTER AND SCALE

Facade design must display a consideration of the building's appearance on all sides of the building: there are very few buildings in the Village with only a "front" and "back".

Buildings in Whistler Village are usually restricted to 3-1/2 storeys or less. Higher buildings must be stepped back or otherwise respond to pedestrian scale.



5.2 PEDESTRIAN LEVEL DESIGN

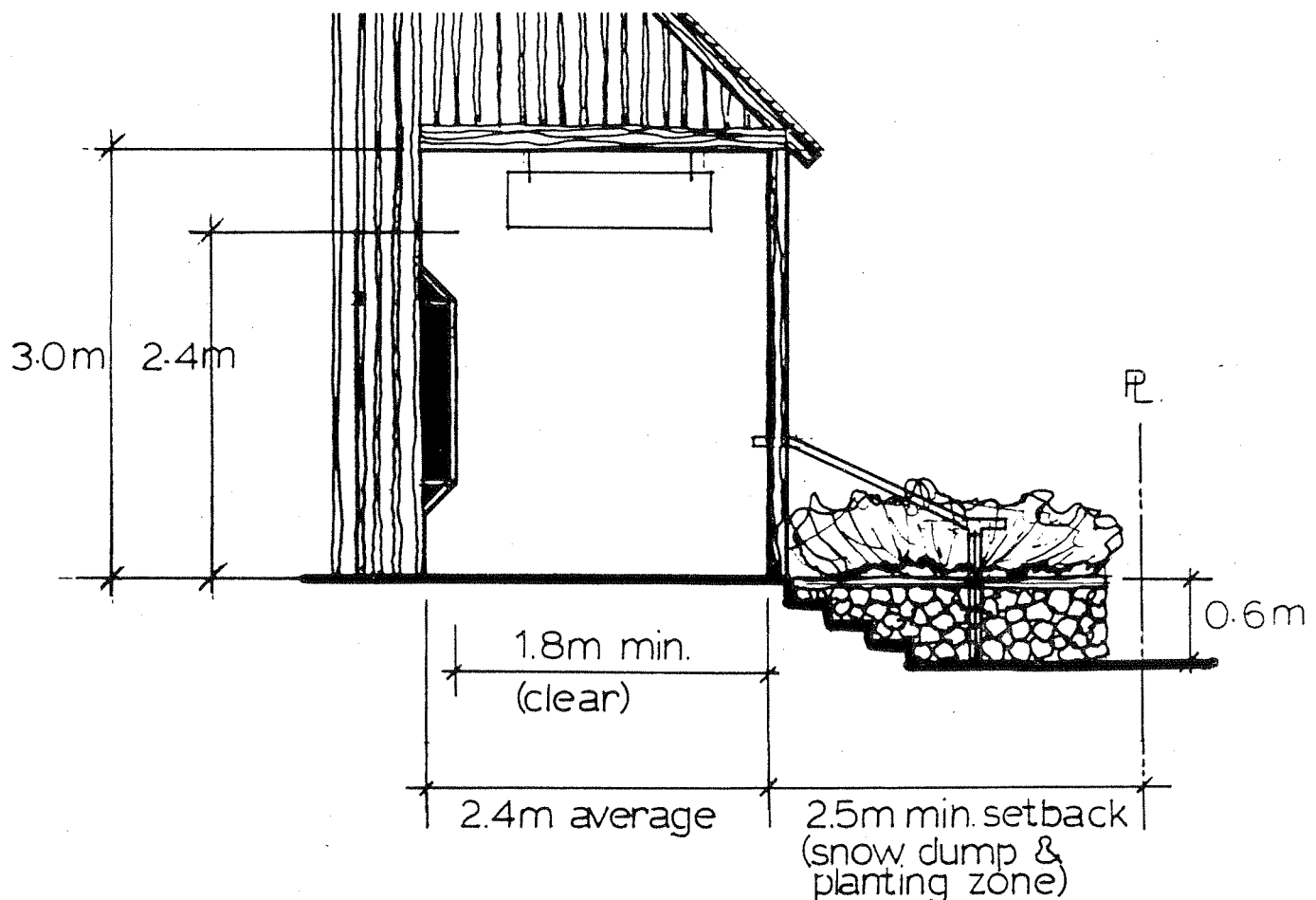
1. A continuous covered walkway system must be provided in Whistler Village and the Commercial (CC, CR + CM), Lodge (LA) and Hotel (HA) zones of the Village Expansion.

The walkway should have a varied width. Distance between building face and walkway edge is to be an average of 2.4 metres in width; 1.8 metres minimum clear width and 3.0 metres minimum clear height. Doors shall not swing into this required width.

Main floor level and pedestrian walkways should typically be a minimum of 0.6 metres above the adjoining pedestrian mall for floodproofing (see Appendix 'C') with a maximum height of 1.2 metres above adjacent pedestrian mall.

Barrier free access must be provided. As well as providing access for disabled persons, ramps provide easier access for the elderly, baby strollers, and luggage carts.

Incorporate furnishings, phone booths etc in design of arcade.



2. Walkway system must be integral with the building form

Separate walkway roofs may be considered if the materials used are the same as those of the main building and the roof design is an integral part of the facade.

Canvas, metal or acrylic awnings in lieu of structural covered walkway are not acceptable. Solid (not translucent) awnings may be considered over entrance areas in addition to the covered walkway in the building to add variety and colour.

3. Adjoining walkways must be fully co-ordinated

Design walkways to maintain visual continuity of eave lines, materials at base, soffits and facias, and grade at entry locations.

4. Facade design requires variety, scale and modulation

Create pedestrian interest with use of scale and modulation in the placement and detailing of elements such as bay windows, street furnishings,, entrances, lighting and graphics.

Glazing is to be broken up into small scale panes. Large panels of glazing and/or snap-in muntin bars are not acceptable.

Design shop facades as individual entities, to strengthen their character and interest to the pedestrian. Continuous linear shop fronts are not acceptable.

6. Outdoor display areas to be designated on plans

If an outdoor display area to be provided, it must be designated on plans and must not interfere with pedestrian circulation.

7. Design for durability and ease of maintenance.

5.3 UPPER FLOOR DESIGN

The design of the upper facade of buildings is important to the scale and texture of the Village. The building faces are envisioned as a rich collection of varied yet harmonious facades, adding interest, scale and rhythm to the Village.

1. Facade elements must reflect "Village scale"

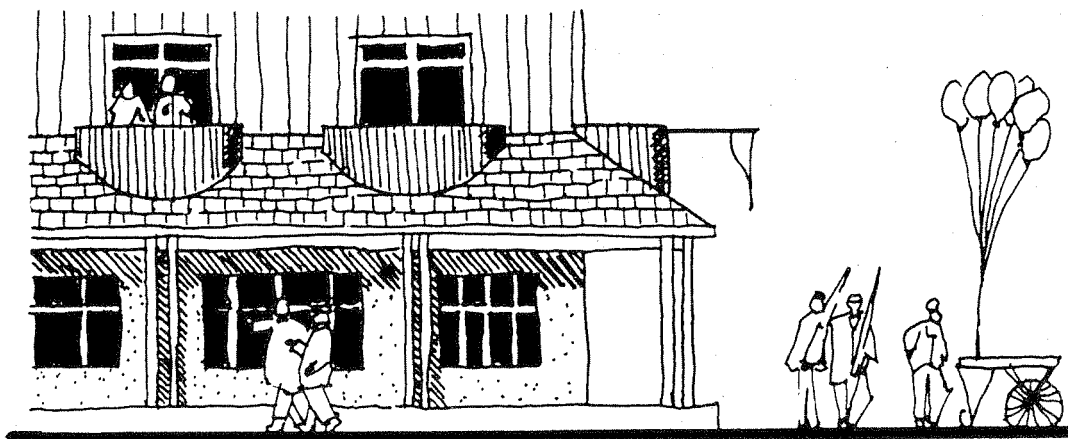
Building facades must include architectural features including bay windows, balconies, dormers and facade detailing as textural elements which strengthen the Village scale and resort image.

Building facades should give a substantial appearance consisting of "punched" openings. Curtain walls or facades incorporating long horizontal strip windows are not permitted.

2. Every living unit should have a spot to catch the sun

Decks, balconies, and porches are strongly encouraged as they provide sunny usable *outdoor space* and add life and interest to the street..

In the design and positioning of elements such as decks, balconies, bay windows, and living area windows, incorporate the opportunity of formal and informal "overlooks" to activity outside.



5.4 ROOF DESIGN

Roof design is important for snow management, and is a major contributor to Village character. Roofscapes are an important design element which are viewed from pedestrian level, and the ski slopes above Village, from Highway 99 and Village approaches.

The skyline of the Village is conceived as a unified composition of sloping roofs in a limited variety of materials and colours.

Sloped roofs shed accumulated snow in avalanche fashion and can be dangerous to pedestrians below. The design of roofs and pedestrian areas below them is referred to as "snow management", and is discussed in **Section 6**.

1. Roof form should be modulated

Roof form should be broken up with the use of dormers, or other architectural features. The ridgeline should not be continuous but should be varied in height or broken with chimneys, cupolas, towers or other features.

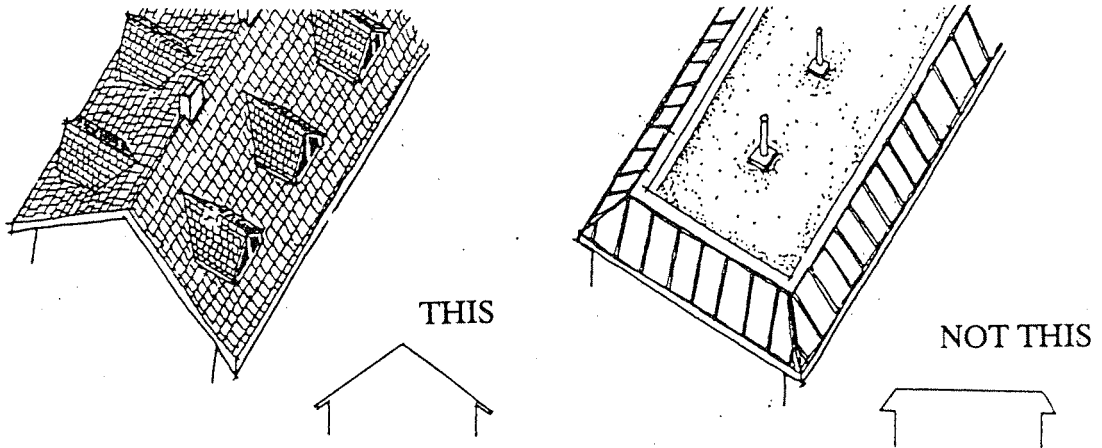


2. Roofs must have sloped appearance

Roofs slopes should be between 5:12 and 12:12

Large areas of flat roofs are not acceptable. A composition of sloped roofs is required in each project with small areas of flat roofs acceptable.

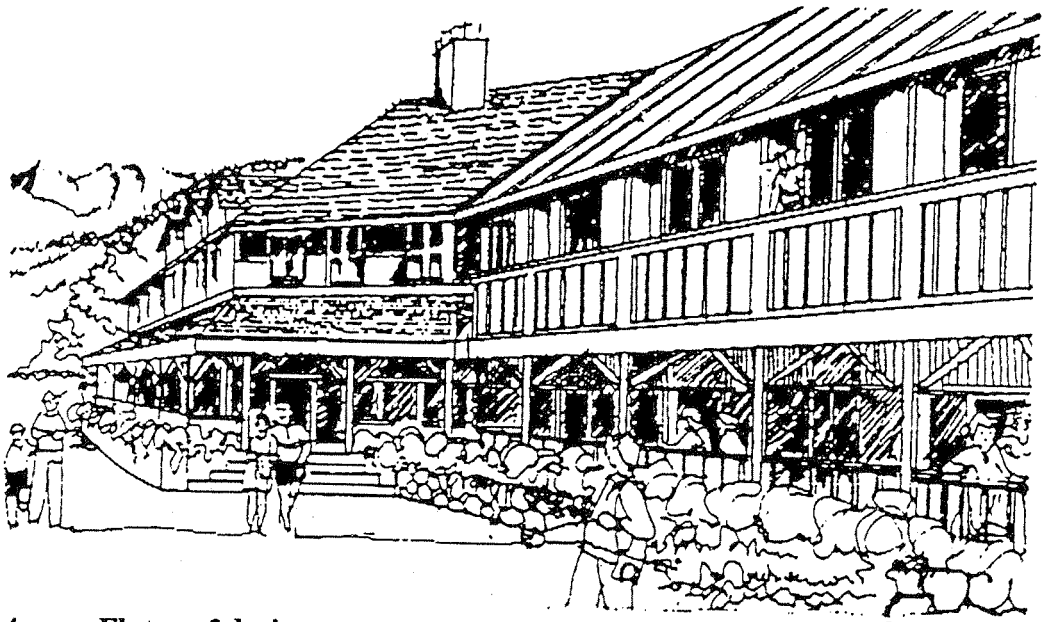
Mansard roofs are not acceptable.



3. Roofs of connected and adjacent buildings must be fully coordinated

Consider coordination with adjoining eaves, peaks, gables and slopes. Exposed party walls are not acceptable.

Consider the colour of neighbouring roofs to create a complementary roof palette: avoid selecting strongly contrasting colours.



4. Flat roof design

All flat roofs shall incorporate a coloured roof membrane or special roof aggregate consistent with the building colour scheme.

5. Roof materials

Consider the effects of climate and snow management in selecting roofing materials; cedar shake, cedar shingles and metal roofs have been most effective. Asphalt shingles are not acceptable.

The colour of roof materials must be generally neutral or muted in order to blend with or enhance the colours of the natural landscape. Brightly coloured enamelled metal roofs will not be considered with the exception of major public use buildings or selected landmarks.

All roof flashing materials shall be prefinished metal to match roof colour.

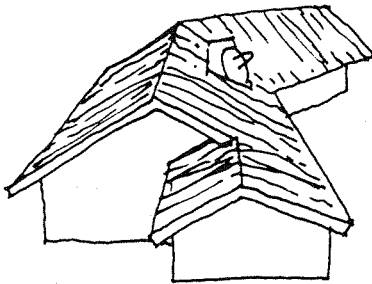
All chimneys should be enclosed in a material identical or similar to the building cladding (or other architectural treatment incorporated).

Thin wood trim sections are discouraged. Trim and eave lines should have substantial appearance.

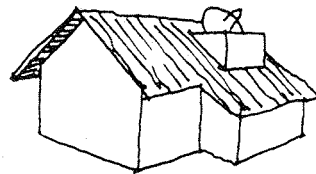
6. Roof mounted equipment must be concealed

Satellite dishes, communications antennae and mechanical equipment must be planned as part of the roof so they are concealed from all pedestrian viewpoints and any overlooking development.

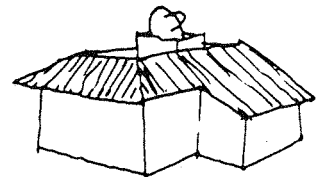
Venting stacks, flues and other similar projections should be concealed or integrated within the roof form as sculptural elements.



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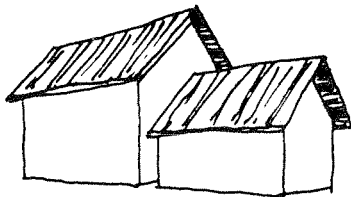
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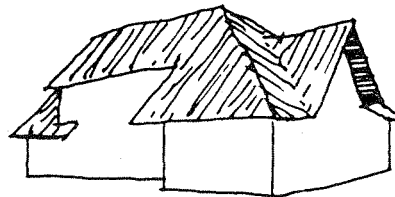
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7. Eave line

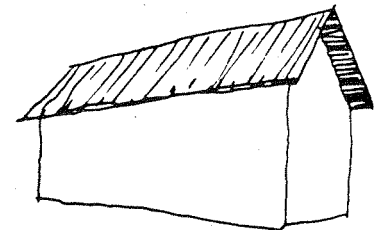
Eave lines or a major cornice/trim line should be located below the third storey to bring the building face down to a pedestrian scale.



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5.5 BUILDING MATERIAL SELECTION

Consistent use of a small number of materials chosen for their durability and natural quality is an important component of the Village character.

1. **Materials must be complementary to those of adjoining buildings.**
2. **Primary exterior materials include stone, wood, stucco and textured concrete**

- (a) Stone

The use of natural stone (especially granite) is required at ground level; both for building base and for streetscape elements.

Artificial or "cultured" stone is not acceptable.

Refer to standard planter detail in *Whistler Design Standards*.

- (b) Wood

Prestained wood siding is strongly encouraged where permitted by the building code.

Plywood or particle board is not acceptable as exterior cladding.

- (c) Stucco

Stucco must be acrylic based and incorporate an acrylic (as opposed to painted) finish.

Stucco must incorporate heavy reveals and expansion joints. Stucco must be protected from weather exposure by deep overhanging eaves. Wood trim is recommended wherever possible.

Stucco is acceptable for large areas, only where it is combined with heavy timber, wood or stone cladding.

- (d) Concrete

Exposed concrete must be heavily ribbed, textured, coloured or bushammered; unfinished exposed concrete is not acceptable.

Seal all finished concrete.

Special finish concrete block may be used in limited areas with complementary materials; standard concrete block shall not be exposed.

All firewalls to be fully clad i.e. no exposed concrete or concrete block.

3. **All building materials are to be sufficiently durable and shall be detailed to withstand Whistler's harsh climate.**
4. **Other materials may be acceptable in limited areas subject to particular technical and design justification.**
5. **Windows**

Reflective or heavily tinted glass is not permitted.

Wood windows are preferred where possible. If metal window frames must be used, brightly coloured window frames are preferred. All metal window frames must be thermally broken.

5.6 COLOUR SELECTION

A limited palette of colours taken from Whistler's natural setting has been encouraged in establishing the existing character of Whistler Village.

1. **Derive base colours from Whistler's setting**

Appropriate natural and muted colours include those found in the natural setting of Whistler.

Consider the colours used in adjoining buildings when selecting colours.

2. **Accent colours must complement base colours**

Consider neighbouring colours when using strong, deep colours as accents.

The use of bright, glossy colour for focal points and limited accents such as doorways, window frames, signs, graphics, storefronts or displays is encouraged.

6.0 SNOW MANAGEMENT

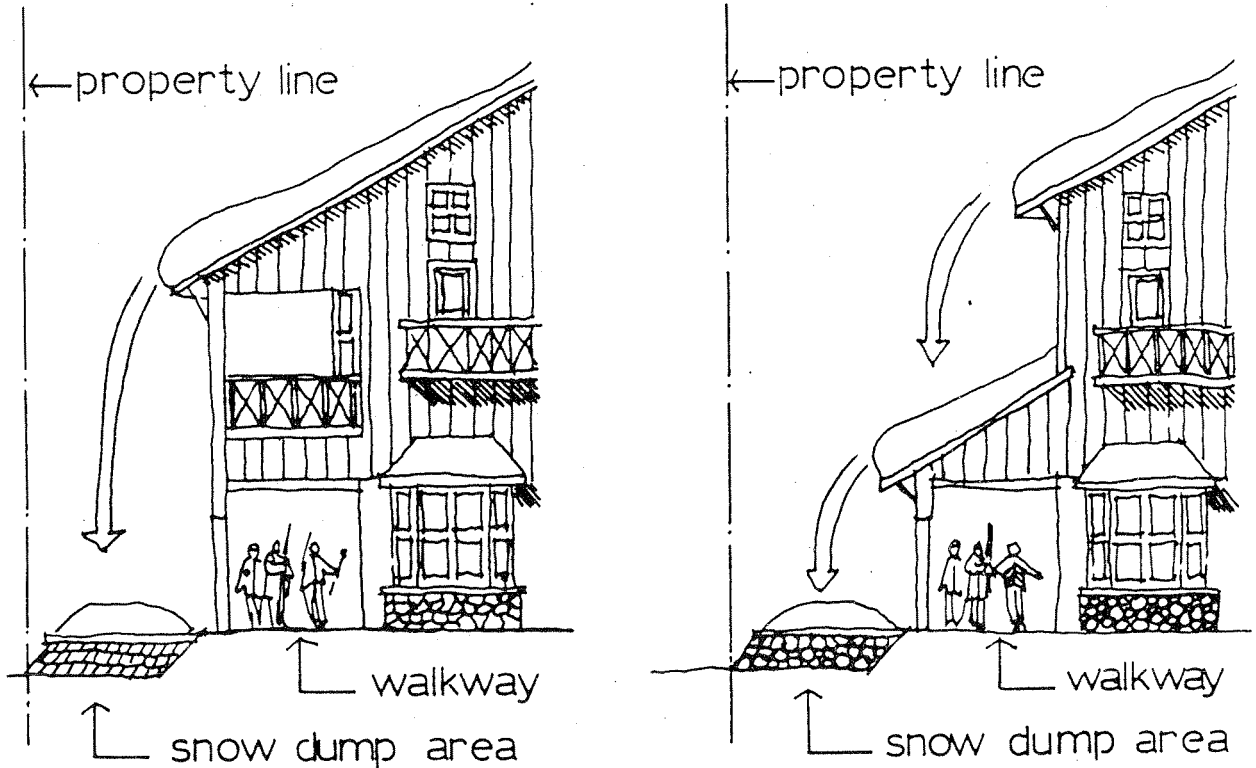
The effects of snow and ice build-up, if improperly handled, can be destructive to buildings, pose risks to pedestrians and vehicles, and impose high ongoing snow removal and maintenance costs. The heavy snows and extreme freeze/thaw cycle of Whistler combine to make snow management an important design consideration. Designers not thoroughly familiar with snow country design should retain an expert consultant early in the design process.

1. Snow management is the responsibility of each developer

The basic building form must be conducive to snow management. Consider snow management from the earliest building concepts through to the detailing and working drawings.

Snow and drainage from roofs must not be dumped onto adjoining streets or properties.

Consider the potential hazard of icicles dropping onto pedestrian areas.



2. Snow accumulation must be managed on an ongoing basis

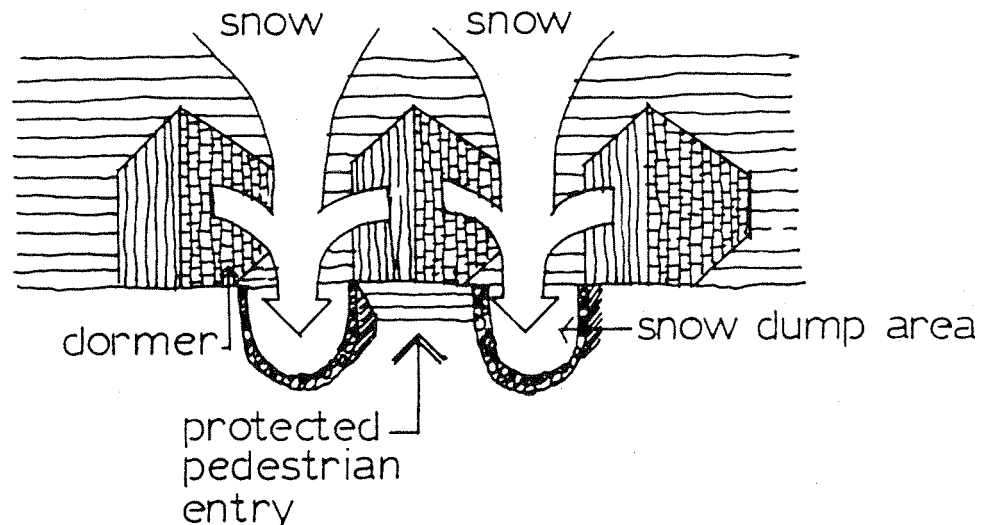
Snow must be positively shed or positively retained. Consider the effect of snow diverters, snow retainers, roof pitch and roof materials on snow retention. Snow diverters or snow retainers should be designed as an integral part of the roofscape. Snow retainers are an acceptable solution only where no other method is possible.

3. Entrances and pedestrian routes must be fully protected

Shedding snow must be deflected from pedestrian areas by dormers, angled roofs, canopies or other means.

All steps and wheelchair ramps must be covered or heat traced. De-icing salts are prohibited due to the damage caused to structures.

Snow dump areas must not be accessible to pedestrians.



4. Service areas and garage entries must be snow managed

Ensure access to vehicle service bays are protected from snow shed, and will be functional in harsh winter conditions. Protect these areas from snow and ice accumulation.

Ensure sufficient vertical clearance for vehicles, taking into account the effects of ice and snow build-up.

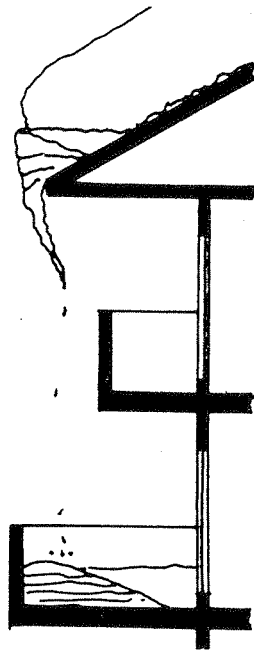
Avoid snow shed over either pedestrian or vehicular entryways.

Service areas and entry ramps should be covered or heat-traced wherever possible.

5. Building projections must be durable

Roofs dumping snow onto a series of lower roofs or onto a lower roof from great height can cause extreme snow loads or impact loads respectively.

Consider the effect of heavy snow dump or sliding snow on projections such as balconies and eaves. Buildings should be planned so that balconies are covered or recessed.



6. Roof detailing

- (a) Snow splitters must be substantial, and fitted to all projections on sloped roofs which are not located close to the roof ridge (eg. chimneys, vents, skylights etc).
- (b) Generally, conventional eaves troughs or built-in eaves troughs should be avoided as they are subject to damage from snowshed.
- (c) Adequate roof ventilation is key to the 'cold roof' concept. Convective ventilation, consisting of continuous vents at the eaves and 'exhaust' vents at gable ends or the ridge line is preferred. These vents present decorative opportunities as part of the building form.

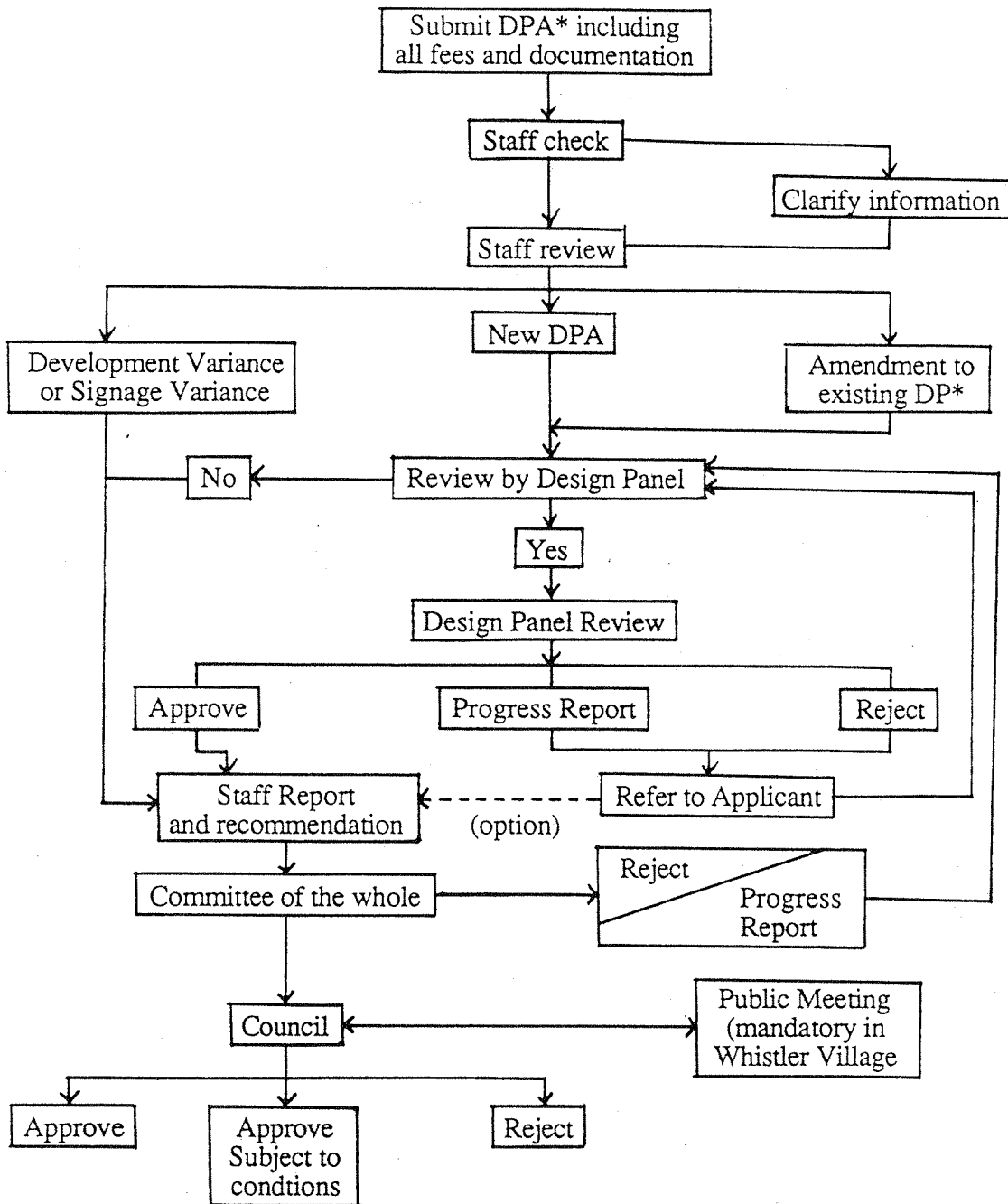
7. Roof design must establish effective snow management

Consider the effect of slope, materials, construction, projections and slope/flat roof distribution on snow shedding characteristics.

Consider the extreme freeze/thaw cycle in Whistler and its impact on snow shed, snow retention, roof drip, icicle management, ice dams, and water infiltration.

APPENDIX "A"

DEVELOPMENT PERMIT PROCESS

DEVELOPMENT PERMIT APPLICATION PROCESS

- Note:**
- * DP means Development Permit
DPA means Development Permit Application
 - Processing time for review of application will depend upon the completeness of documentation, staff and Council workload.

APPENDIX 'B'

PLANT MATERIALS SUITABLE FOR WHISTLER CLIMATE

A. Native Plant Materials

1. Trees

<u>Botanical Name</u>	<u>Common Name</u>
<i>Acer glabrum</i>	Douglas maple
<i>Chamaecyparis nootkatensis</i>	Yellow cypress
<i>Pinus contorta</i> var <i>latifolia</i>	Shore/Lodgepole pine
<i>Populus tremuloides</i>	Trembling aspen
<i>Pseudotsuga menziessii</i>	Douglas fir
<i>Tsuga heterophylla</i>	Western hemlock
<i>Tsuga mertensiana</i>	Mountain hemlock
<i>Abies lasiocarpa</i>	Alpine fir
<i>Thuja plicata</i>	Red cedar
<i>Picea engelmannii</i>	Englemann spruce
<i>Picea glauca</i>	White spruce
<i>Juniperus scopularum</i>	Rocky Mountain Juniper
<i>Pinus monticola</i>	Western White Pine
<i>Betula papyrifera</i>	Paper Birch
<i>Larix occidentalis</i>	Western larch
<i>Corylus cornuta</i>	Hazelnut
<i>Prunus emarginata</i>	Bitter cherry

2. Native Shrubs

Evergreen

Ceanothus velutina
 Mahorna aquifolium
 Penstemon fruticosus
 paehistmia myrsinites
 Juniperus communis
 Lodum greenlandceum
 Phyllodoce empetriformis

Mountain lilac
 Oregon grape
 Shrubby penstemer
 Oregon box
 Common juniper
 Labrador tea
 Mountain leather

Deciduous

Amelanchier alnifolia
 Cornus tolonifera
 Elaeagnus commutata
 Potentilla fruticosa
 Ribes sanginneum
 Phedendren occidentale
 Sorbus sitchensis
 Vaccinuim parvifolium
 Menziesia ferruginae
 Osmaronia arasiformis
 Rosa sp.
 Rubus spectabilis
 Rubus parviflorus
 Viburnum edule

Serviceberry
 Red twig dogwood
 Silverberry
 Shrubby cinquefoil
 Red Currant
 Western Azalea
 Silka mountain Ssh
 Red Auckleberry
 Mock Azalea
 Indian Plum
 Wild rose
 Salmonberry
 Thembleberry
 Highbush cranberry

3. Native Groundcovers

Arctostaphylos uva-ursi
 Cornus canadensis
 Blechnum specant
 Gaultheria proeumbens
 Vaccinium vitis idea
 fragaria virginia
 Rosa sp.

Bearberry
 Bunmcherry
 Dear fern
 Wintergreen
 Lingenberry
 Wild strawberry

B. Approved Native-like Plant Materials

1. Trees

Botanical Name

Common Name

Evergreen:

Picea abies	Norway spruce
Picea omorika	Serbian spruce
Picea pungens	Colorado spruce
Tsuga canadensis	Eastern hemlock
Pinus nigra	Austrian pine

Deciduous:

Sorbus aucuparia	European mountain ask
Acer ginnala	Amur maple
Acer rubrum	Red maple
Acer saccharinum	Silver maple
Quercus rubrum	Red oak
Betula verucosa	European birch
Acer platanoides	

2. Shrubs

Azalea - deciduous varieties	
Cotoneaster congestus	Rockspray
Cornus stolonifera flaveramea	Yellowtwig dogwood
Kalmia angustifolia	Sheep Laurel
Kalmia latifolia	Mountain laurel
Pinus mugo	Mugo pine
Pinus mugo mugus	
Ribes alpinum	Alpine currant
Rhododendron - hardy varieties in shaded locations	

Rosa woodsii
Rosa rugosa sp.
Rosa meidiland
Daphne Cneorum
andromeda polifolia
Louicera sp.
Spirea sp.
viburnum burkwoodii

Wild rose
Shrub rose

Rock daphne
Bog rosemary
Honeysuckle
Spiria
viburnum

Ground Cover:

Fragaria virginalis

Wild strawberry

APPENDIX "C"

FLOODPROOFING REQUIREMENTS

The Applicant is advised that Whistler Village is located in the Fitzsimmons Creek alluvial fan and may be subject to flooding. While this area is protected by a training wall, specific floodproofing requirements have been established by the Ministry of Environment for each parcel in Whistler Village and are set out in a Section 215 covenant which is registered against title of each property.

Owner/Developers are advised to consult, at the initial design stage, the applicable Section 215 covenant registered against title of their property to confirm floodproofing measures to be provided as part of building design.

Generally, all buildings must have the main floor elevated at least 0.6 metres above adjacent finished grade, no habitable areas, mechanical equipment or goods damagable by floodwaters may be located below this level. In addition, the developer may be required to provide an overland flood channel or other measures as required by the Water Management Branch, Ministry of Environment.

